

PR2 is an ultra-sustainable urban logistics warehouse. 76,911 sq ft, 15m minimum clear height, 100% electric. The development is on Abbey Road in Park Royal at the heart of London's most important logistics zone with excellent access to the A4O, the M25 and Central London. The warehouse will be available Q4 2023.

BCLOB-TRANS



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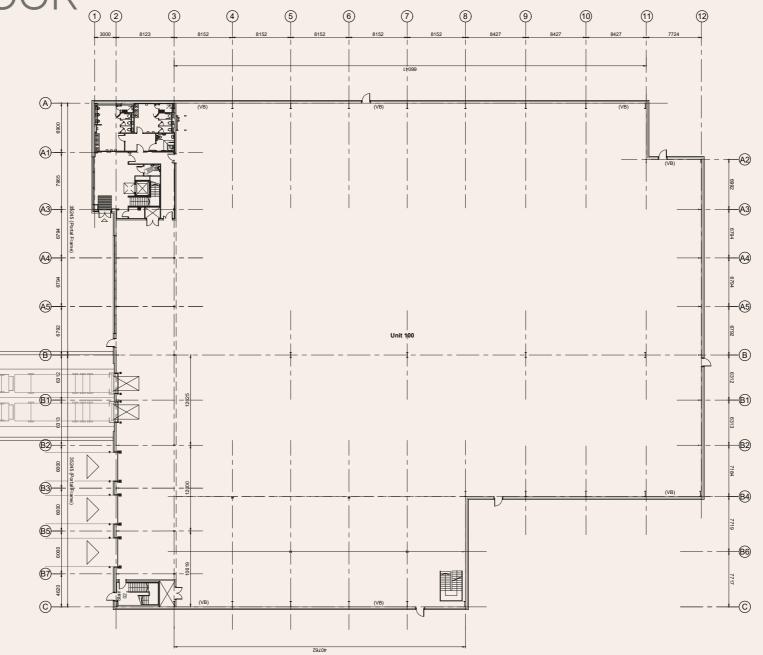


Warehouse (incl. Core)	57,820 sq ft (5,372 sq m)
1st Floor Core (incl. stairs & WCs)	2,370 sq ft (220 sq m)
1st Floor Offices	4,885 sq ft (454 sq m)
2nd Floor Core	2,370 sq ft (220 sq m)
2nd Floor Offices	2,500 sq ft (232 sq m)
Mezzanine	6,965 sq ft (647 sq m)
Total Area	76,910 sq ft (7,145 sq m)
Plant Deck	2,325 sq ft (223 sq m)
Fitted Office as percentage of total	9.6%
Minimum Clear Height	15m
Yard Depth	50m
Dock Loading Doors	2
Level Access Loading Doors	3
Car Parking Spaces	20 (100% charge points)
Van Charge Points	6 (3 Dual fleet chargers 24kw)
HGV Parking in Yard	2 Including loading dock positions
Bike Parking	37
Power	1MVA









A full suite of plans (in PDF and DWG formats) plus details of the specification are available upon request.





EXIT

EMERGENCY SIGNAGE

Emergency signage and associated lighting provided in accordance with Approved Document B of the Building Regulations/the requirements of BS 5266.

Emergency lighting will be undertaken utilising a combination of LED type fittings, self-contained 3-hour duration emergency operation luminaires and 3-hour duration emergency converted luminaires.



FLOOR LOADING 50kN/m² UDL



RACK LEG LOADING

75kN with 300mm back-to-back spacing with 100 x 100mm baseplate.



REINFORCED CONCRETE

Reinforced concrete ground slab with a power floated floor finish with an acrylic hardening membrane (slab suitable for grinding to form tracks for VNA forklift trucks).



ROOFLIGHTS

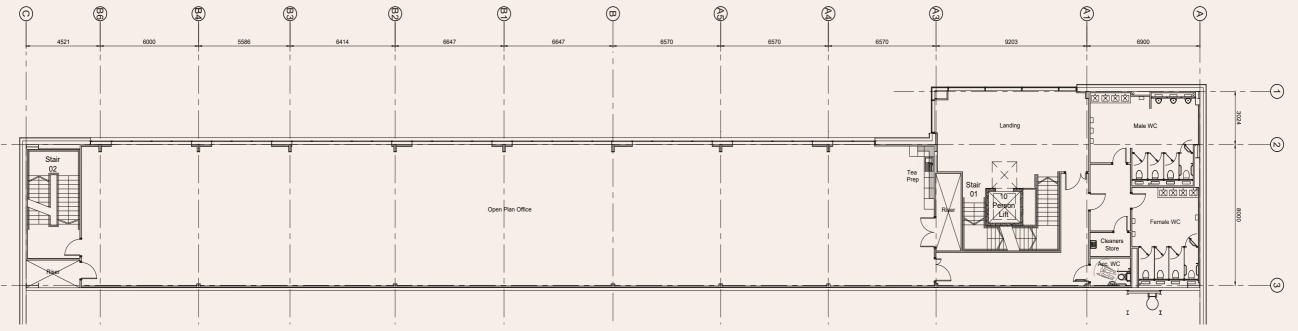
Twin-Therm® Therma-light rooflights will be triple skinned GRP, with an 8oz (2.44kg/m²) inner and a 6oz (1.83kg/m²) outer skin, with a separate intermediate core and all relevant CA components to achieve a minimum U-value of 1.30 W/m²K.

Rooflights will be provided to approximately 15% of the warehouse floor area, installed as per the manufacturer's instructions and are to be Non-Fragile for a period of 25 years. Subject to positions of purlins & rafters.



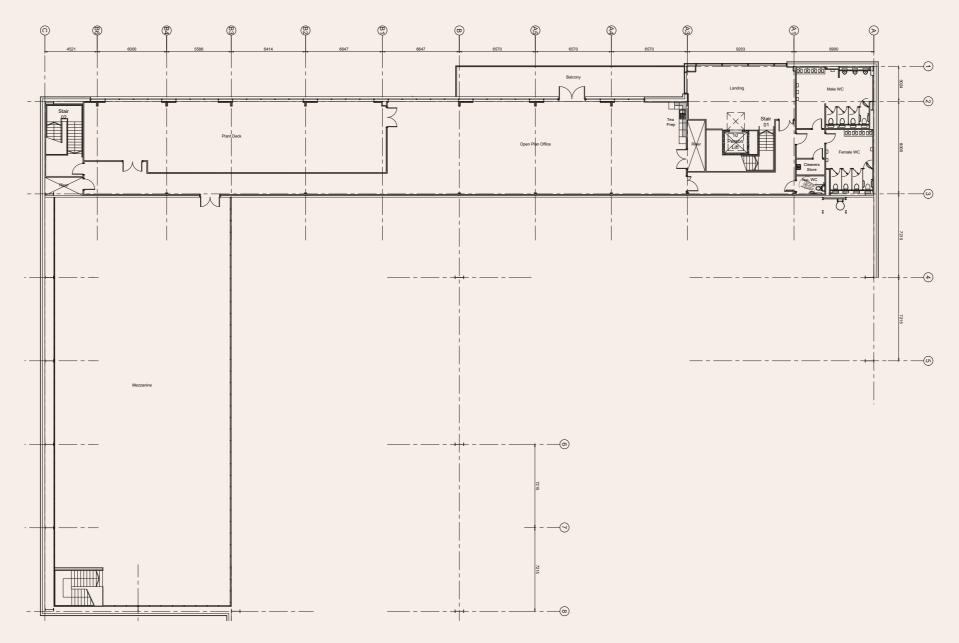


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First Floor Office Plan - F.F.L. +6.000m Scale 1:100







▲ RECEPTION & OFFICES ▲ INTERNAL SPECIFICATION

PR2



LIGHTING RAFTS

Exposed open plan office containing LED lighting and fan coil units positioned behind.

FIRST FLOOR AND SECOND FLOOR OFFICE AREA

Superimposed loading of 2.5kN/m² and an additional loading of 1.0kN/m² for partitions with a surface tolerance and finish appropriate to the specified floor finishes.



ENTRANCE FLOORING

Porcelain floor tile. 600 x 600mm, PTV rating 36+ in a mid to dark grey colour range – Recycled content greater than 39%. Matwell Gradius Tyreguard Matting or similar – 100% recycled rubber wipers.



FULL HEIGHT IPS PANELS

Including full height doors to WC and shower cubicles – a range of solid colours or timber veneers available to suit 'occupier' aspirations. Anti-bacterial coating for the life of the product. Full height ceramic wall tiles and skirting – recycled content greater than 39%.

Porcelain floor and skirting tile – recycled content greater than 39%. White vitreous china sanitaryware

- including waterless urinals.

Surface mounted mirrors. Armstrong "Hydroboard" regular ceiling tiles with and MF ceilings to focal point, i.e. above vanity units Armitage Shanks 'Doc M' WC pack (dark grey grab rails).



MECHANICAL VENTILATION

Complete with heat recovery. VRF cooling and heating.



10 PERSON LIFT Access provided to first and second floor office areas



INTERFACE CARPET TILE CARBON NEGATIVE

Backed with Cquest BioX backing paired with specialty 100% recycled yarns on MicroFloor 600 sustainable raised access flooring system.



ACCESSIBILITY

Blue Badge parking bays Wheelchair access to all floors Accessible toilet facilities -

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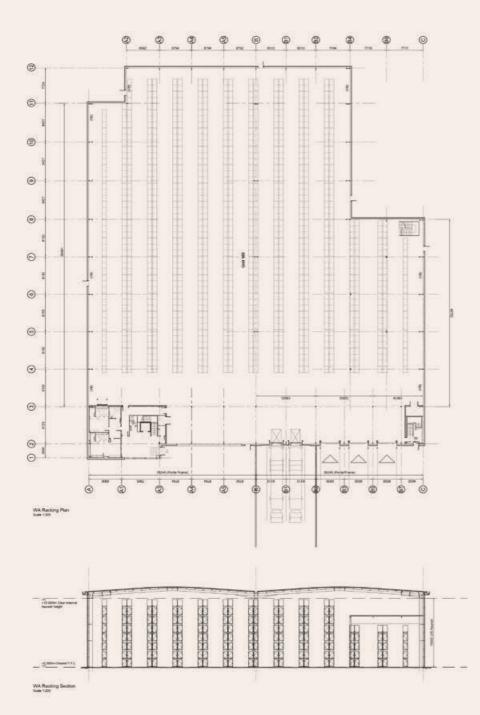
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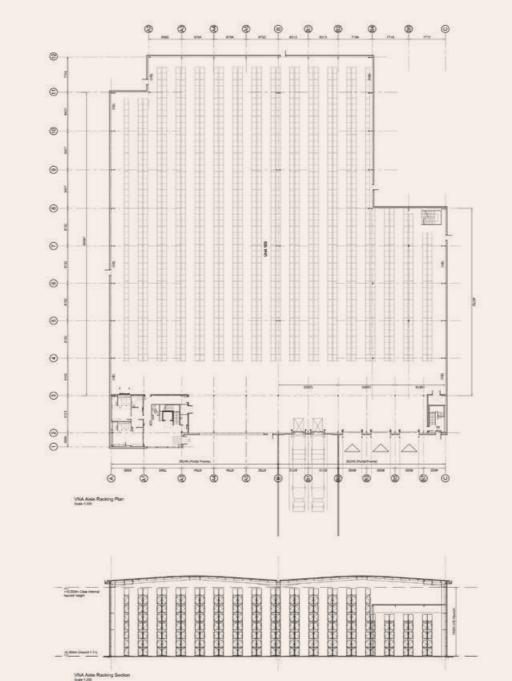
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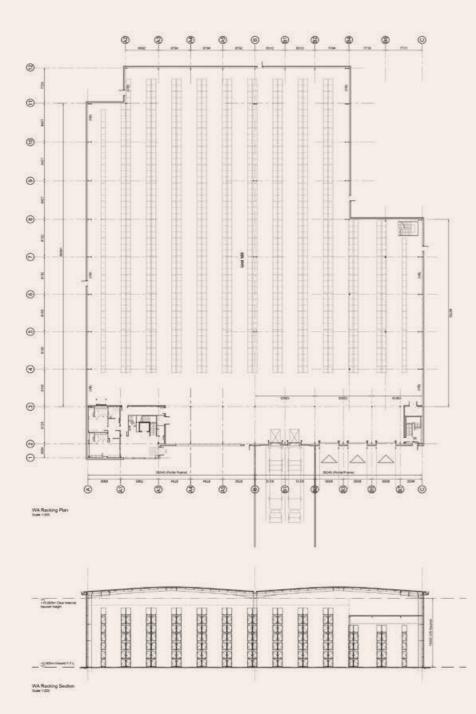


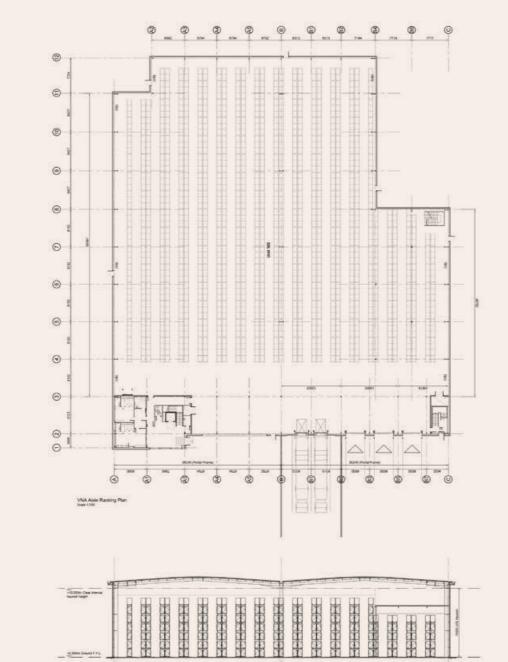
NO MEZZANINE

Key

VNA (Very Narrow Aisle) total maximum count **10,602 pallet locations**

WA (Wide Aisle) total maximum count **7,774 pallet locations**





VNA Able Racking Section Inde 120

PR2

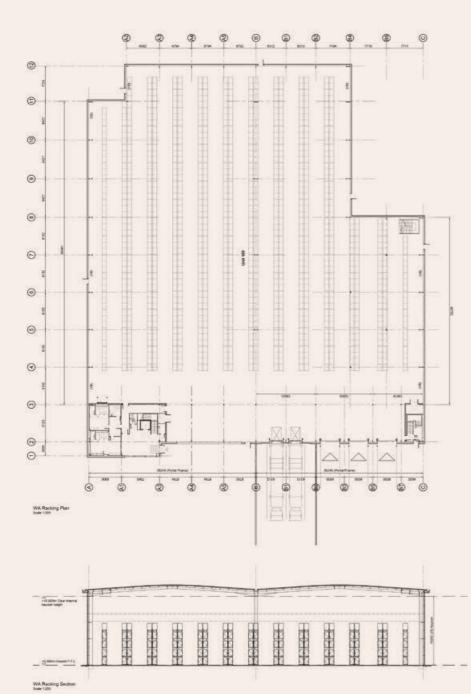
PARTIAL MEZZANINE

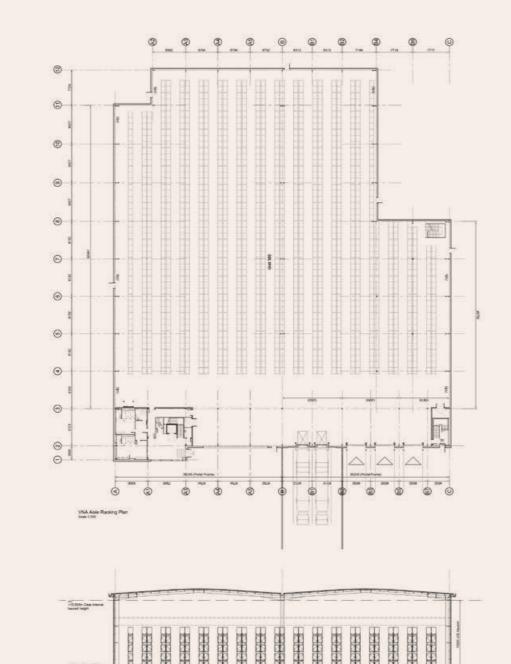
Key

VNA (Very Narrow Aisle) total maximum count **9,378 pallet locations**

WA (Wide Aisle) total maximum count **6,876 pallet locations**

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VNA Able Racking Section



FULL MEZZANINE

Key

VNA (Very Narrow Aisle) total maximum count **6,930 pallet locations**

WA (Wide Aisle) total maximum count **6,876 pallet locations**







A full suite of plans and detailed specification are available upon request.





EXTERNAL CLADDING

The vertical and/or horizontal cladding will be a Twin Therm® from CA Building Products, trapezoidal panels incorporating one of the standard range of profiles, chosen by the Employer/Architect.

The outer sheet will be coated with Colorcoat HPS2OOUltra® and/or Prisma® from Tata Steel (colours from the standard range) with a Confidex® Guarantee of 40 years.

INTERNAL CLADDING

CA Building Products 300 MR Micro Rib cladding with an internal liner sheet, a bright white finish, and a fibre insulated core (LBCP rated) to achieve the Target Emissions Rate calculations for the overall thermal performance and heating/cooling design for the building.

The outer sheet will be coated with Colorcoat HPS2OOUltra® and/or Colorcoat Prisma® from Tata Steel (colours from the standard range) with a Confidex® Guarantee of up to 40 years.

ROOF

The roof will be the Twin-Therm® system utilising nominal O.7mm thick Colorcoat HPS2OO Ultra® coated steel external sheets supported by the Confidex® Guarantee of up to 40 years and fixed as per the system requirements.

The roof and roof lights are to provide a manufacturer's warranty for the entire installation for a period of 25 years (rainwater goods maximum 25 years).







WELLNESS



DAYLIGHT

Room areas on the external face of the building with glazing shall utilise automatic daylight dimming control that will be used in conjunction with a lighting control system.







AIR QUALITY

The building has been designed to minimise the indoor concentration and recirculation of pollutants, providing fresh air into the building in accordance with the relevant standard for ventilation. Second floor external balcony access via the office accommodation.

Shower/welfare facilities at ground floor with provision for future fit-out within the undercroft. Cycle shelter provision to provide security and protection for bicycles with a safe pedestrian route between warehouse/office areas. The shelters contain eco-habitats and green living roofs.

FEATURES

PR2



SERVICES

- 950 kVA total incoming power / 1MVA substation
- Dual / diverse incoming routes provided for telecom ducts / draw pits
- 32mm incoming water with 180mm fire main for sprinkler anticipation for future incoming tenant install



BIODIVERSITY AND PLANTING

- Landscape designed to maintain existing established on plot trees and ecology
- Additional planting in the form of extra heavy rootballed trees – species Acer platanoides 'Coloumnare' and Betula pendula
- Proposed native hedgerow 15% Hornbeam, 50% Hawthorn, 15% Beech, 10% Privot, 10% Blackthorn
- Low ornamental shrub / herbaceous planting with proposed bulb areas in Narcissus
 'February Gold' and Crocus tommasinianus

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OTHER FACILITIES

- Waste recycling / bin stores with minimum 10m² provided for recycling bin storage
- Pedestrian access from the site boundary to the main entrance is by means of a level approach footpath with a gradient, whether over its full length or in part, not steeper than 1:20. All pedestrian access footpaths are to be finished with block paviours and tactile paving to pedestrian crossing points as necessary. Footpaths are designed to provide a minimum clear surface width of 2000mm which is sufficient for pedestrian passing and wheelchair access.

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RATES

- Base Rate £55
- Rateable Value £226,000





PR2 is designed with maximum rooftop photovoltaic (solar panel) coverage, and also battery storage to ensure energy resilience and occupier cost savings. Full details on application.



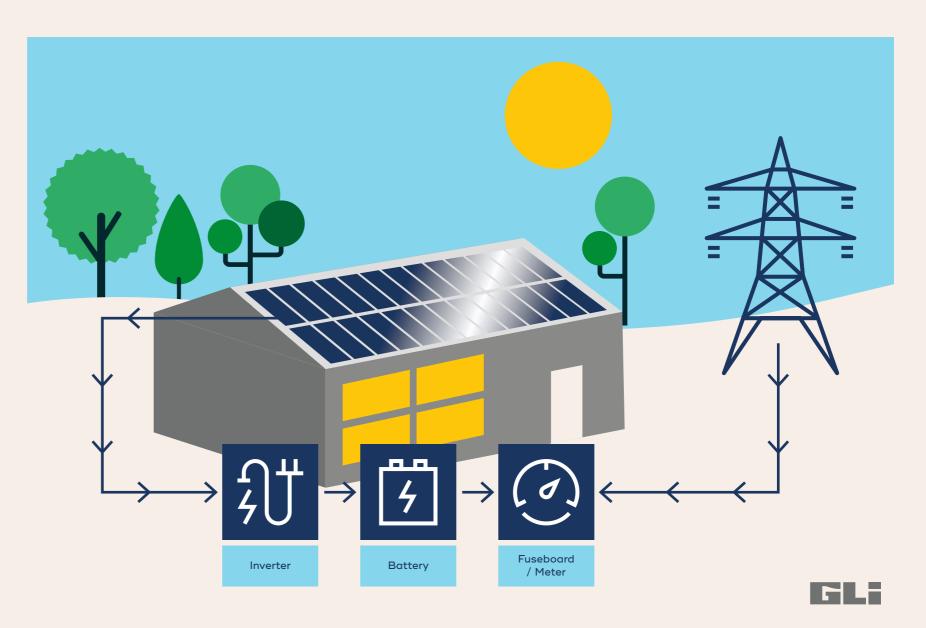
387kWP Photovoltaic (solar panel) maximising content on the roof coverage

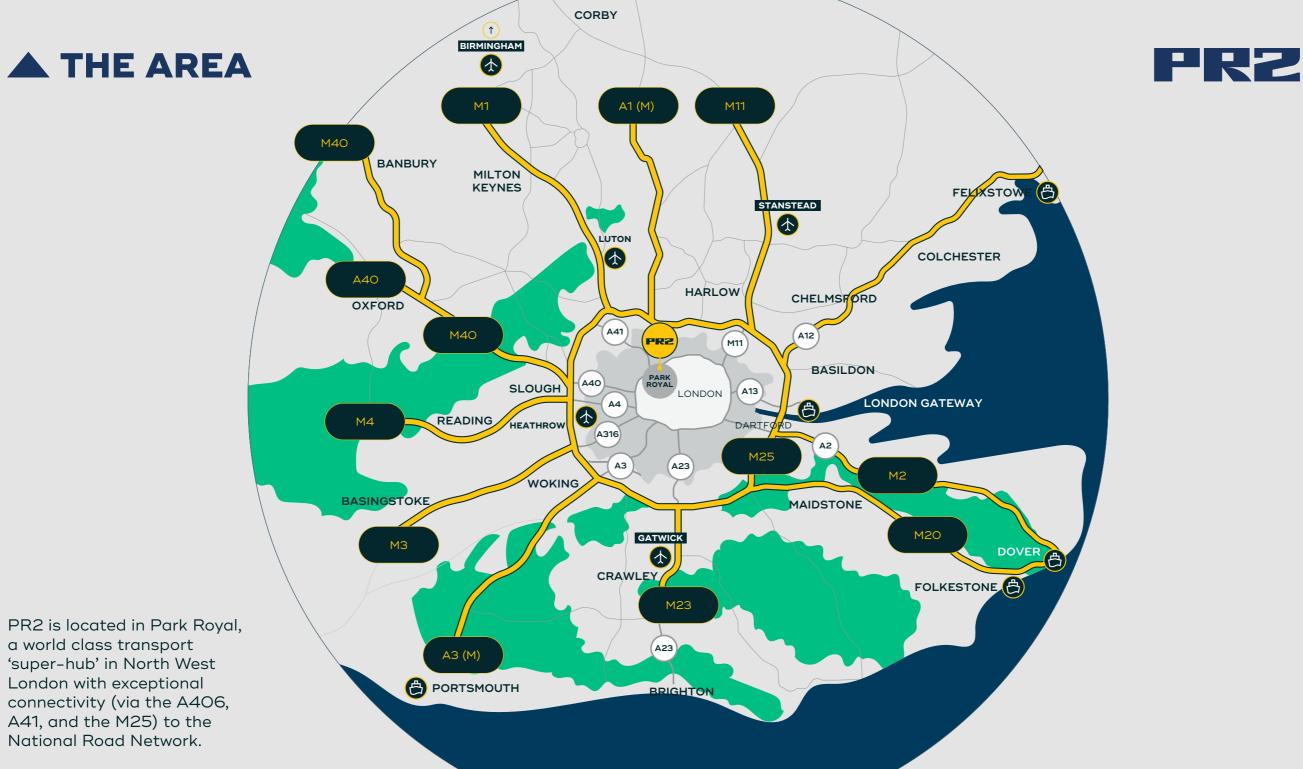


Battery storage option of 60kW inverter and 67kWh battery system



120kW system c/w 134 kWh battery and uplift in terms of battery storage per m67kWh





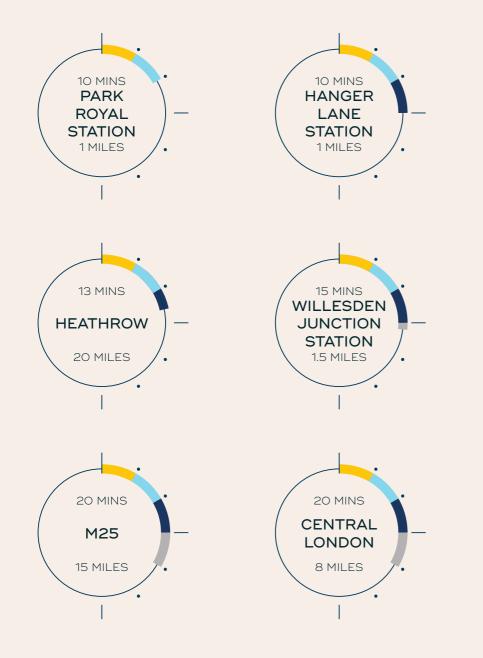
PR2 is located in Park Royal, a world class transport 'super-hub' in North West London with exceptional connectivity (via the A406, A41, and the M25) to the National Road Network.

THE AREA

WILLESDEN GREEN θ WEMBLEY NORTH CIRCULAR A407 STONEBRIDGE A404 ALPERTON HARLESDEN HARLESDEN ABBEY ROAD KENSAL GREEN A406 A404 PR2 A40 HANGER LANE WILLESDEN JUNCTION PARK ROYAL WESTERN AVENUE PARK ROYAL NORTH ACTON NORTH EALING WEST ACTON EALING Ð EAST ACTON ACTON MAIN LINE \ominus EALING BROADWAY -A40 WHITE CITY ACTON CENTRAL WHITE CITY \rightarrow LONDON 20 MINS ACTON WESTFIELD LONDON SHEPHERD'S BUSH A406 Ľ SHEPHERD'S HEATHROW 20 MINS BUSH

Easy access to A4O/M4O/ A4O6, Multiple Underground (Central, Piccadilly, Bakerloo) and National Rail stations within a mile to attract a skilled local workforce.

UP TO SPEED



PRZ

Nine London Underground/National Rail Stations, the new Elizabeth Line and future HS2 connectivity, offer unrivalled access to core markets of Central and Greater London and beyond, attracting a skilled, experienced pool of labour.



ELIZABETH LINE

with new infrastructure

benefiting the area.

Increased rail connectivity

HS2/

MOTORWAY

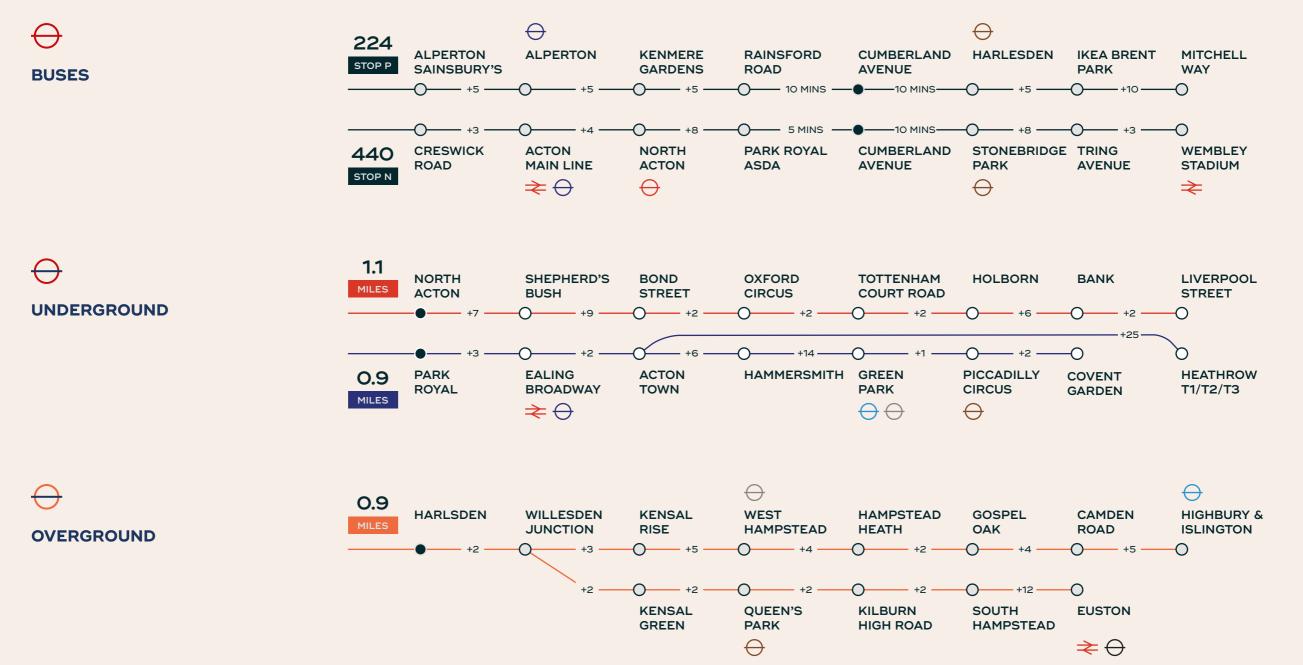
High-speed road connection to the UK Motorway network via the M4O (10 miles) and the M25 (11 miles).



AIRPORT Freight and passengers can take to the skies from Heathrow (11 miles).







FL PARK ROYAL





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